

GENERAL NOTES

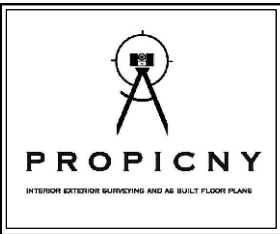
- THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REWIRED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.
- ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- DAMP PROOFING - ONE GOAT CONTINUOUS ELECTROMETRIC WATERPROOFING FROM GRADE LEVEL TO BOTTOM OF FOUNDATION.
- SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.
- DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.
- THE BUILDER SHALL FURNISH ART AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH:

ABBREVIATIONS:

A.F.F.	Above Finish Floor	MISC.	Miscellaneous
BD.	Board	M.L.	Microlam
BOT.	Bottom	MECH	Mechanical
B.R.L.	Bldg Restriction Line	MTL	Metal
BSMT	Basement	N/A	Not Applicable
C.I.F.	Change in Finish	N.I.C.	Not In Contract
C.J.	Control Joint	NO. or #Number	
CL.	Ceiling	N.O.M.	Nominal
CL	Center Line	N.T.S	Not To Scale
CMU	Conc. Masonry Unit	O.C.	On Center
COL.	Column	PTD.	Paint, Painted
CONC.	Concrete	P.T.	Pressure Treated
CONT.	Continuous	RAD./R	Radius
CW.	Cold Water	REF.	Refrigerator
DBL.	Double	REQ.	Required
DIA.	Diameter	R.O.	Rough Opening
DN	Down	SIM.	Similar
DS	Downspout	SPEC	Specification
DW	Dishwasher	SF	Square Feet
DWG	Drawing	S.S.	Stainless Steel
ELEC	Electric, Electrical	STD.	Standard
ELEV.	Elevation	STL.	Steel
E.P.	Electrical Panel	STOR.	Storage
EQ.	Equal	T.O.P.	Top of Plate
Equip.	Equipment	TYP.	Typical
E.W.	Each Way	U.O.N.	Unless Noted
Ex.	Existing		Otherwise
F.A.	Fire Alarm	VERT.	Vertical
FDN.	Foundation	W.I.C.	Walk-In Closet
FIN.	Finish	WC	Water Closet
FIN. FL.	Finish Floor	W/	With
FL, FLR.	Floor	WD.	Wood
FT	Foot or Feet		
FTG	Footing		
FLASH	Flashing		
G.A.	Gauge		
GALV	Galvanized		
G.F.C.I.	Ground Fault Circuit Interrupter		
GWB	Gypsum Wall Board		
HB	Hose Bibb		
HWF	Hardwood Flooring		
HGT	Height		
H.H.	Head Height		
HORIZ.	Horizontal		
HWH	Hot Water Heater		
INSUL.	Insulation		
INT.	Interior		

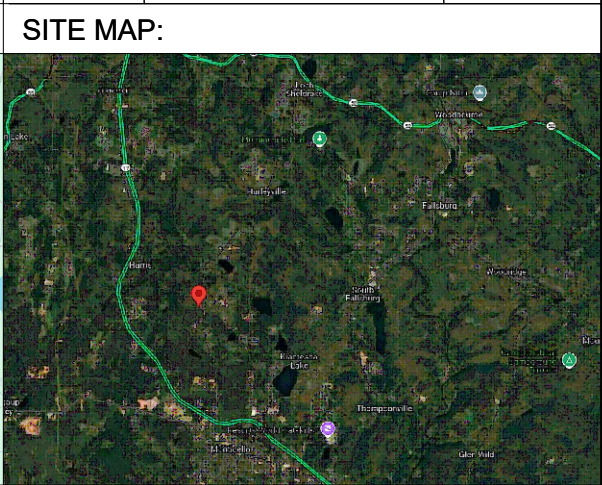
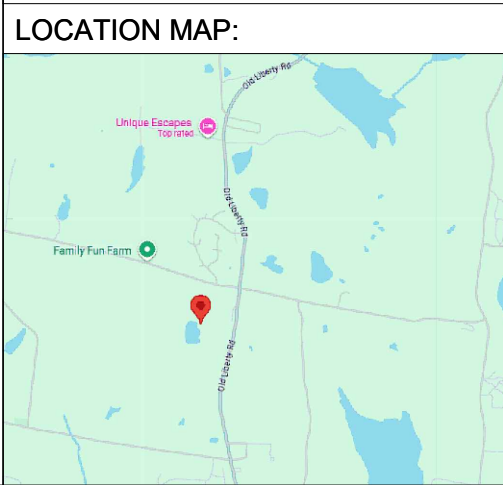
SHEET SCHEDULE:

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A - 1	GENERAL NOTES ABBREVIATIONS SITE MAP LOCATION MAP SHEET SCHEDULE	19-03-2025
A - 2	PROPOSED FIRST FLOOR PLAN	19-03-2025
A - 3	PROPOSED FRONT ELEVATION PROPOSED RIGHT - SIDE ELEVATION	19-03-2025
A - 4	PROPOSED LEFT - SIDE ELEVATION REAR ELEVATION	19-03-2025
A - 5	PROPOSED BUILDING SECTION PROPOSED 1 HR DIMISING BUILDING SECTION	19-03-2025
E - 1	PROPOSED ELECTRICAL PLAN ELECTRICAL EQUIPMENT LEGEND ELECTRICAL NOTES	19-03-2025
P - 1	PLUMBING DETAILS	19-03-2025
S - 1	STRUCTURAL NOTES	19-03-2025
S - 2	SCOPE OF WORK GIRDER REINFORCEMENT DETAIL DECK CONSTRUCTION DETAILS FLOOR JOIST SISTERING DETAILS TYPICAL REPLACEMENT FOOTING DETAIL	19-03-2025



**INTERIOR EXTERIOR
MAPPING AND SURVEYING**
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY



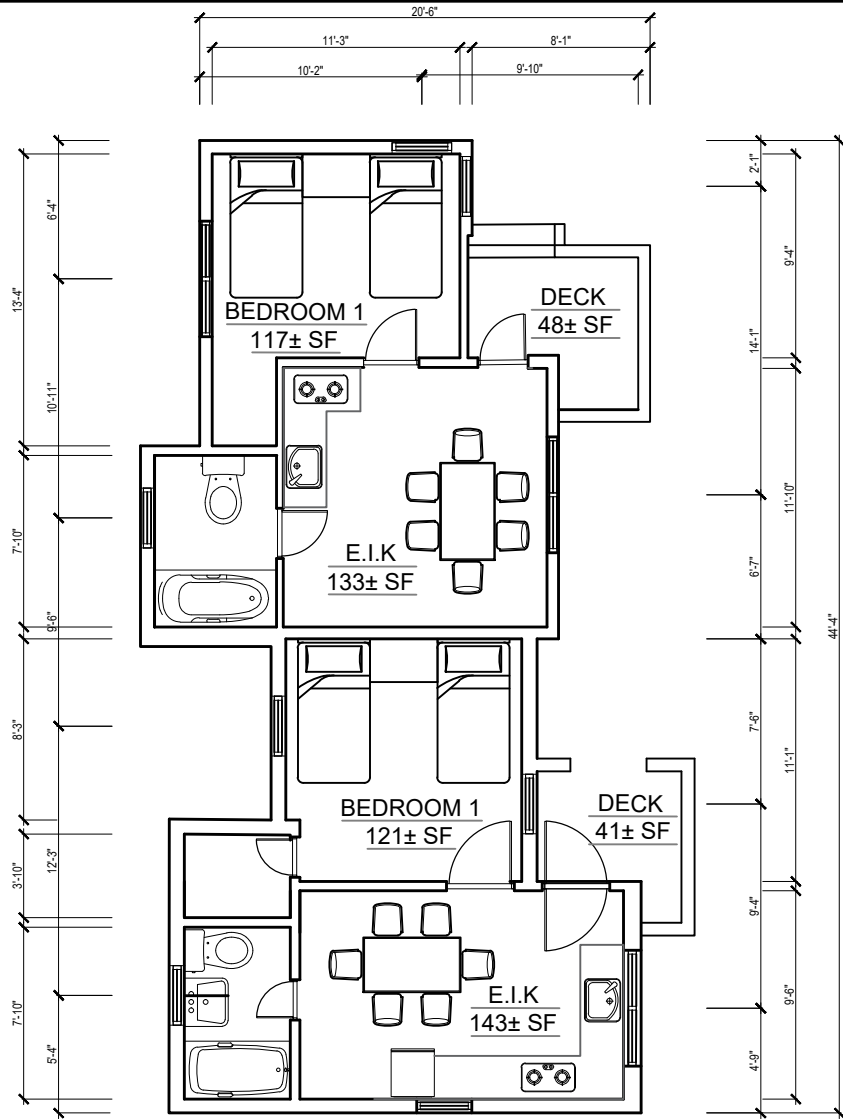
ARCHITECT/ENGINEER

REVISIONS:

NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
GENERAL NOTES
ABBREVIATIONS
SITE MAP
LOCATION MAP
SHEET NUMBER

DRAWN BY:	SHEET NO.:
DATE:	A-1
CHECKED:	OF:
DATE:	05
PROJECT NO.:	



1 EXISTING FIRST FLOOR PLAN
 A-2 SCALE: 3/8"=1'



PROPICNY
 INTERIOR EXTERIOR SURVEYING AND AS-BUILT FLOOR PLANS

INTERIOR EXTERIOR
 MAPPING AND SURVEYING
 18 SPENCER BROOKLYN
 NEW YORK 11211
 (929) 486-9091
 propicny.com
 PROPICNY@GMAIL.COM

PROJECT NAME:
**ARCHITECTURAL AS-BUILT
 UNIT 50 - 51
 631 OLD LIBERTY ROAD
 TOWN OF THOMPSON, NY**

ARCHITECT/ENGINEER

REVISIONS:

NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
 EXISTING FIRST FLOOR PLAN

DRAWN BY:	SHEET NO:
DATE:	A-2
CHECKED:	OF:
DATE:	
PROJECT NO:	05



PROPICNY
INTERIOR EXTERIOR SURVEYING AND AS-BUILT FLOOR PLANS

INTERIOR EXTERIOR
MAPPING AND SURVEYING
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

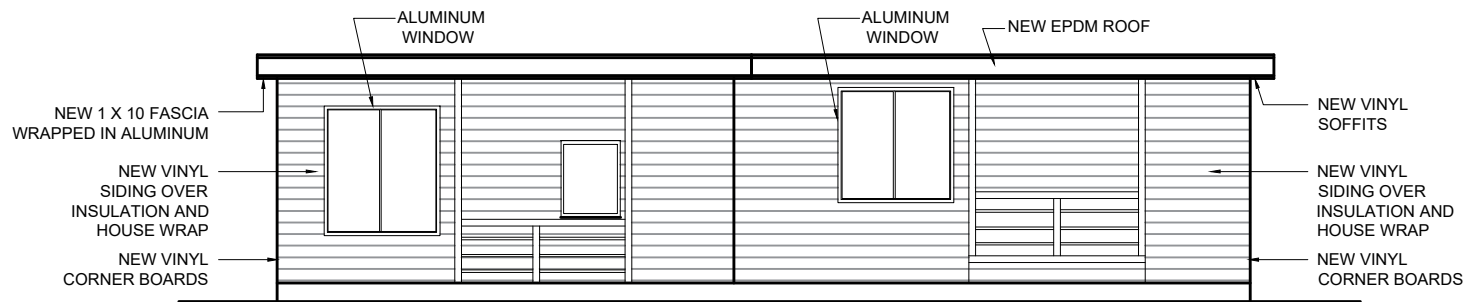
PROJECT NAME:
**ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY**

ARCHITECT/ENGINEER

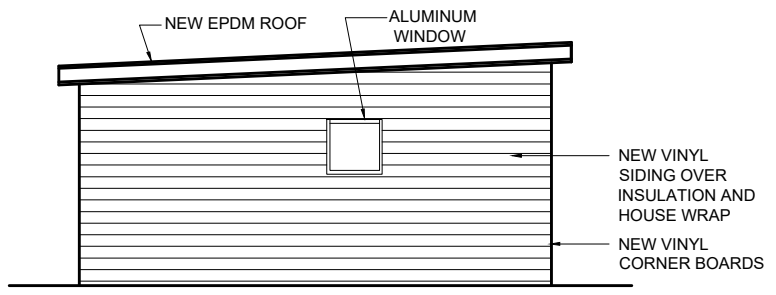
REVISIONS:		
NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
EXISTING FRONT ELEVATION
EXISTING RIGHT - SIDE ELEVATION

DRAWN BY:	SHEET NO.:
DATE:	A-3
CHECKED:	OF:
DATE:	
PROJECT NO.:	05



1
A-3 **EXISTING FRONT ELEVATION**
SCALE: 3/8"=1'



2
A-3 **EXISTING RIGHT - SIDE ELEVATION**
SCALE: 3/8"=1'



PROPICNY
INTERIOR EXTERIOR SURVEYING AND AS-BUILT FLOOR PLANS

INTERIOR EXTERIOR
MAPPING AND SURVEYING
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

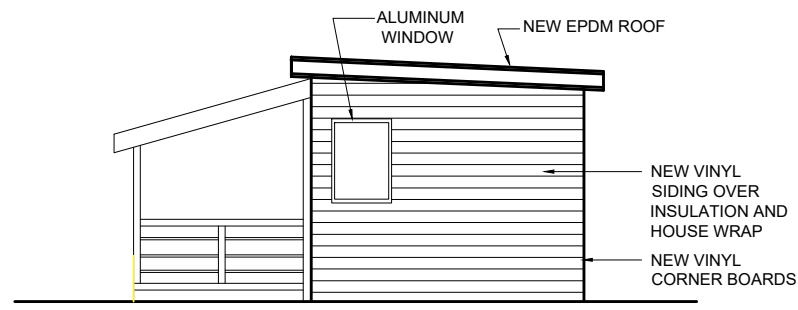
ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

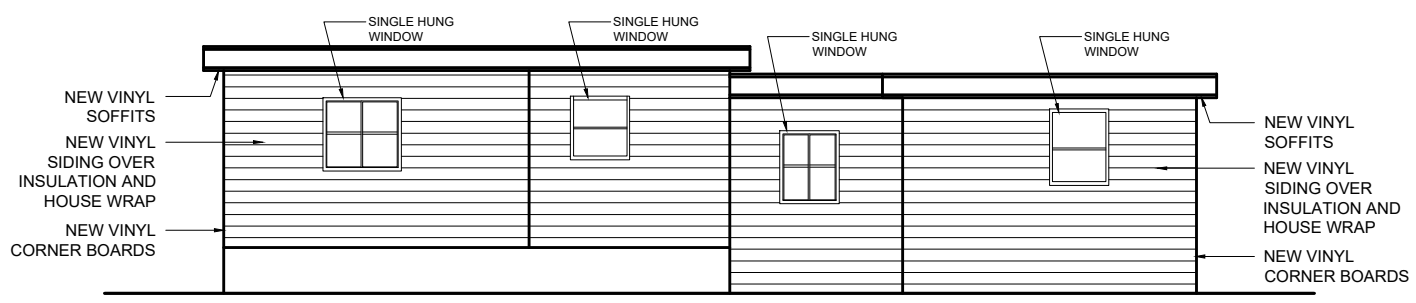
REVISIONS:		
NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
EXISTING REAR ELEVATION
EXISTING LEFT - SIDE ELEVATION

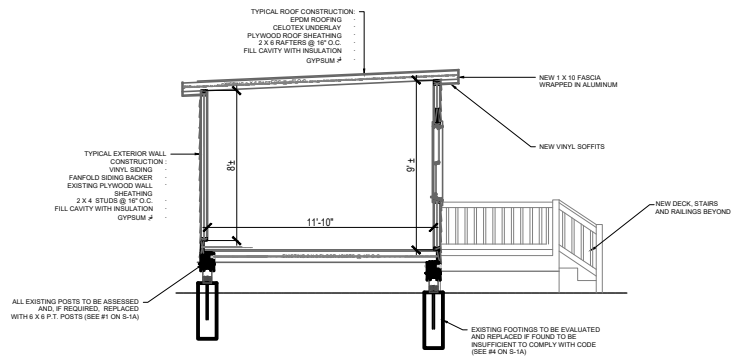
DRAWN BY:	SHEET NO.:
DATE:	A-4
CHECKED:	OF:
DATE:	PROJECT NO.:
	05



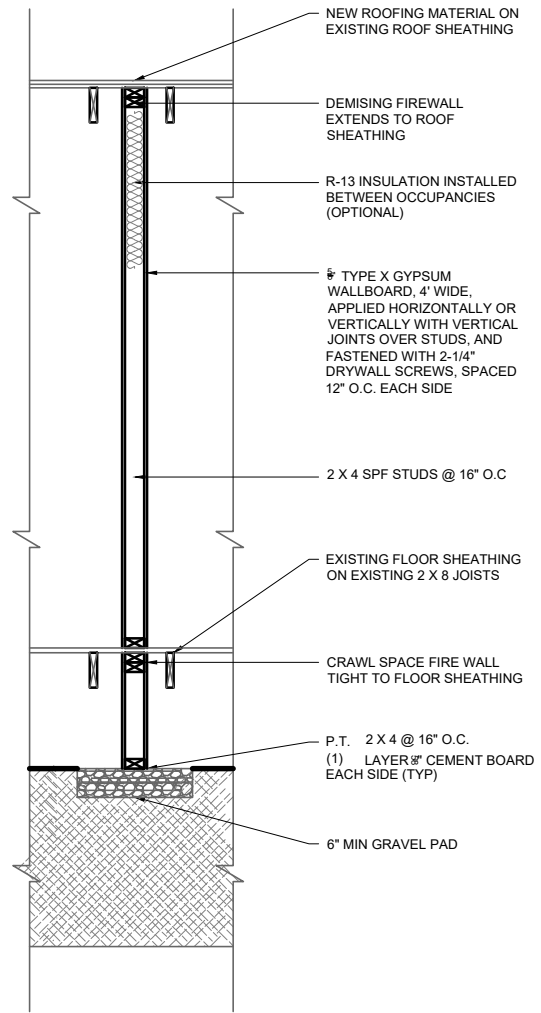
1
A-4
EXISTING LEFT -SIDE ELEVATION
SCALE: 3/8"=1"



1
A-4
EXISTING REAR ELEVATION
SCALE: 3/8"=1"



1
A-5 BUILDING SECTION
SCALE: 3/8"=1'



2
A-5 1 HR DIMISING BUILDING SECTION
SCALE: NTS



PROPICNY
INTERIOR EXTERIOR SURVEYING AND AS-BUILT FLOOR PLANS

INTERIOR EXTERIOR
MAPPING AND SURVEYING
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

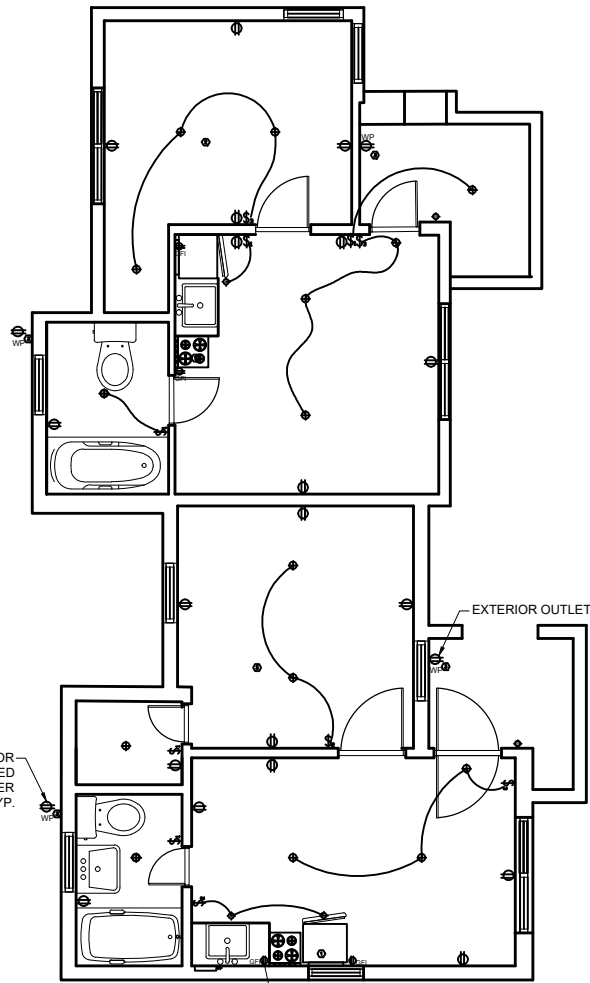
PROJECT NAME:
**ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY**

ARCHITECT/ENGINEER

MARK / DESCRIPTION

BUILDING SECTION
1 HR DIMISING BUILDING SECTION

DRAWN BY:	SHEET NO.:
DATE:	A-5
CHECKED:	OF:
DATE:	
PROJECT NO.:	05



EXTERIOR OUTLET FOR EXTERIOR WALL MOUNTED GAS ON DEMAND L.P. WATER HEATER TYP.

OUTLETS BEHIND STOVE AND IN CABINET ABOVE

1 ELECTRICAL LAYOUT
SCALE: 3/8"=1'

ELECTRICAL EQUIPMENT LEGEND	
SYMBOL	
	SINGLE POLE TOGGLE SWITCH
	TWO WAY TOGGLE SWITCH
	THREE WAY TOGGLE SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT & EXHAUST FAN COMB. FIXTURE
	RECESSED LIGHT FIXTURE
	CEILING FAN & LIGHT COMBINATION
	HARD WIRED 120V COMBINATION CARBON MONOXIDE-SMOKE DETECTOR CAPABLE OF SIMULTANEOUS ALARM WITH OTHER DETECTORS ON THEIR CIRCUIT
	HARD WIRED 120V SMOKE DETECTOR ONLY, CAPABLE OF SIMULTANEOUS ALARM WITH OTHER DETECTORS ON THEIR CIRCUIT
	WALL MOUNTED LIGHT FIXTURE
	DUPLEX RECEPTACLE, 120V
	20 AMPERE DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTOR TYPE.
	20 AMPERE, 4 WIRE DRYER RECEPTACLE, 240V
	30 AMPERE, 4 WIRE RANGE RECEPTACLE, 240V
	DEDICATED OUTLET
	SPECIAL PURPOSE HARD WIRED ELECTRICAL CONNECTION
	WEATHERPROOF RECEPTACLE
	100A POWER PANEL, 40 POLE, 120/240V, NEMA 1
	2 SMALL APPLIANCE CIRCUIT GFI
	OUTLETS IN BEDROOMS ARE ON ARC FAULT CIRCUITS
	GARAGE RECEPTACLE AND WP RECEPTACLE ON GFI CIRCUIT
	EVERYTHING IN BATHROOMS ARE ON GFCI CIRCUIT
	BATH FAN, NO LIGHT

ELECTRICAL NOTES

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORIES (U.L.) AND SHALL BEAR THE INSPECTION LABEL "I" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NBFU.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- METER SOCKETS AMPERES, VOLTAGE AND NUMBER OF PHASES SHALL BE NOTED AND SHALL BE MANUFACTURED BY SQUARE "D" COMPANY, GANGING OR APPROVED EQUAL. METER SOCKET SHALL BE APPROVED BY UTILITY COMPANY PRIOR TO INSTALLATION.
- WIRE AND CABLE CONDUCTORS SHALL BE COPPER WITH TYPE THIN INSULATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- SERVICE CONDUCTORS MAY BE COPPER OR ALUMINUM.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL BOARD.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.

NOTE:
ELECTRICAL PLANS INDICATE THE MINIMUM REQUIREMENTS. AS-BUILT CONDITIONS MAY VARY.

NOTE:
ALL SMOKE DETECTORS SHALL BE HARD WIRED FOR SIMULTANEOUS OPERATION WITH 120V BATTERY BACK UP.



INTERIOR EXTERIOR MAPPING AND SURVEYING
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

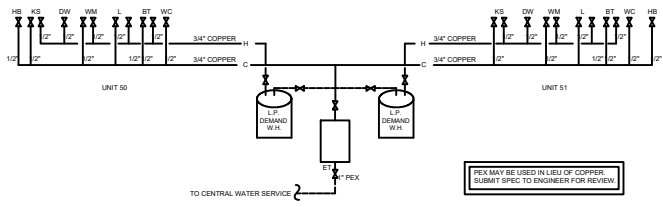
PROJECT NAME:
**ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY**

ARCHITECT/ENGINEER

REVISIONS:	
DATE	MARK / DESCRIPTION

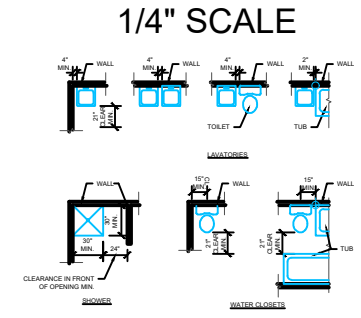
SHEET CONTENT:
ELECTRICAL PLAN
ELECTRICAL EQUIPMENT LEGEND
ELECTRICAL NOTES

DRAWN BY:	SHEET NO.:
DATE:	E-1
CHECKED:	OF:
DATE:	
PROJECT NO.:	01



DOMESTIC WATER SCHEMATIC
SCALE: N.T.S.

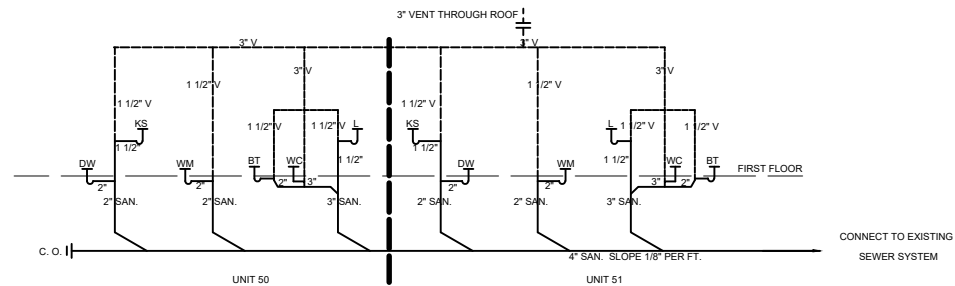
PEX MAY BE USED IN LIEU OF COPPER.
SUBMIT SPEC TO ENGINEER FOR REVIEW



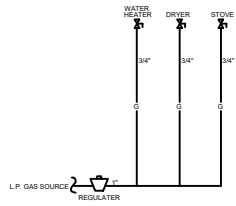
MINIMUM FIXTURE CLEARANCES
SCALE: N.T.S.

PLUMBING NOTES

- THE ENTIRE PLUMBING INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE ICC RESIDENTIAL CODE.
- WATER SERVICE ENTRANCE AND SANITARY EXIT SHALL OCCUR WITHIN THE BASEMENT AREA ON THE LOWER LEVEL. REFER TO SITE PLAN OR SURVEY FOR LOCATION OF SANITARY DISPOSAL SYSTEM AND WELL.
- WELL AND SANITARY DISPOSAL SYSTEM SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND SHALL BE DESIGNED IN ACCORDANCE WITH THE BUILDING CODE AND OTHER APPLICABLE REGULATIONS.
- PIPE SUPPORT:
PEX - 3\"/>

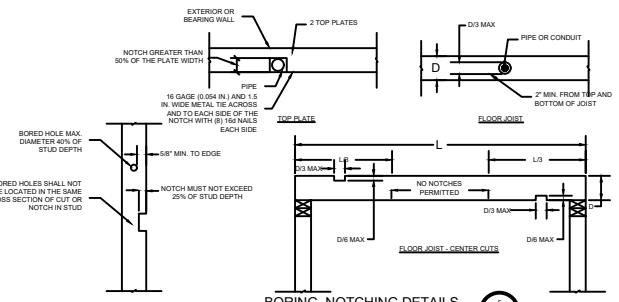


SANITARY RISER SCHEMATIC
SCALE: N.T.S.

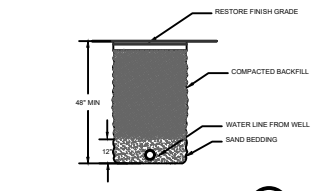


GAS PIPING SCHEMATIC (EACH UNIT)
SCALE: N.T.S.

SYMBOL	DESCRIPTION
KS	RESIDENTIAL GRADE KITCHEN SINK W/ FAUCET
BT	RESIDENTIAL GRADE BATH TUB W/ FAUCET & SHOWER VALVE DIVERTER. INSTALL SHOWER HEAD @ 6\"/>
WC	RESIDENTIAL GRADE WATER CLOSET W/ WATER SAVING FLUSHMETER VALVE ASSEMBLY
L	BATHROOM LAVATORY W/ FAUCET
JT	RESIDENTIAL GRADE JACOZZI TUB
SH	RESIDENTIAL STAND-ALONE SHOWER
WH	60 GALLON PROPANE FIRED WATER HEATER
S	SANITARY SEWER WASTE PIPE, TYPE DWV ABS
V	SANITARY SEWER VENT PIPE, TYPE DWV ABS
C	DOMESTIC COLD WATER SUPPLY PIPE, PEX OR COPPER
H	DOMESTIC HOT WATER SUPPLY PIPE, PEX OR COPPER
G	GAS SUPPLY PIPE
C.O.	SANITARY SEWER CLEAN OUT
W	DOMESTIC WATER SHUT-OFF VALVE
WV	WASHING MACHINE
PP	DIRECT VENT - ZERO CLEARANCE, FIREPLACE, 2\"/>
ET	EXPANSION TANK, (4000 PSI SETTING)
F	FURNACE



BORING, NOTCHING DETAILS
SCALE: N.T.S.



TRENCH DETAIL FOR WATER LINE
SCALE: N.T.S.



**INTERIOR EXTERIOR
MAPPING AND SURVEYING**
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

REVISIONS:

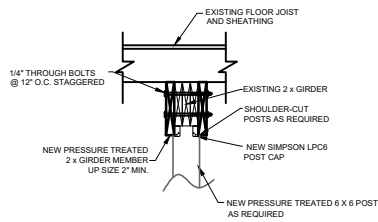
NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
PLUMBING DETAILS

DRAWN BY:	SHEET NO.:
DATE:	P-1
CHECKED:	
DATE:	OF:
PROJECT NO.:	01

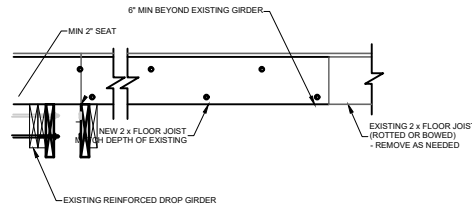
SCOPE OF WORK

- 1) STABILIZATION
 - a) REMOVE TREES AND VEGETATION WITHIN 10' OF STRUCTURE
 - i) LEVEL OFF ROUGH GRADE WITHIN 10' OF STRUCTURE
 - b) COVER EXISTING ROOF WITH A WATERPROOF TARP
- 2) DEMOLITION (ASBESTOS INSPECTION AND REMEDIATION MAY BE REQUIRED)
 - a) REMOVE AND DISPOSE OF:
 - i) EXTERIOR
 - (1) ALL SIDING AND HOUSE WRAP TO BUILDING SHEATHING
 - (2) ALL EXISTING WINDOWS AND EXTERIOR TRIM
 - (3) ALL EXISTING FOUNDATION "SKIRT" MATERIALS
 - (4) ALL EXISTING PORCHES AND DECKS
 - (5) ALL SIDING FASCIA AND EXTERIOR TRIM
 - (6) ALL EXISTING EXTERIOR DOORS
 - ii) ROOF (AFTER STABILIZATION OF FOUNDATION, FRAMING AND CONSTRUCTION OF EXTERIOR DECKS WITH ROOF SUPPORTS)
 - (1) ALL ROOFING MATERIALS TO ROOF SHEATHING
 - (2) ANY DETERIORATED ROOF SHEATHING OR RAFTERS
 - iii) INTERIOR
 - (1) ALL REMAINING APPLIANCES
 - (2) ALL REMAINING PLUMBING FIXTURES
 - (3) ALL CEILING FINISHES
 - (4) ALL INTERIOR TRIM AND DOORS
 - (5) ALL INTERIOR WALL FINISHES
 - (6) ALL INTERIOR FLOOR COVERINGS TO EXISTING BUILDING SUB-FLOOR
 - (7) ALL ELECTRICAL, PHONE OR CABLE INSTALLATIONS
 - (8) ANY NON-STRUCTURAL WALLS PER PROPOSED PLANS
 - (9) REMOVE SECTIONS OF SUB-FLOOR TO ALLOW INSPECTIONS OF FLOOR FRAMING AND FOUNDATION CONDITIONS BELOW.
- 3) PRE CONSTRUCTION INSPECTION
 - a) FOUNDATION AND FLOORS. FLOORS MUST BE LEVELED TO A DEVIATION OF NO MORE THAN 3/8 IN 20' (SEE DETAILS THIS PAGE)
 - (1) EVALUATE EXISTING FOOTINGS AND SUPPORT POSTS FOR INTEGRITY RECOMMEND REPLACEMENT OR REPAIR OF SUB-STANDARD FOOTINGS
 - (2) ALL SUPPORT POSTS TO BE ASSESSED AND REPLACED WITH PRESSURE TREATED 6 X 6 POSTS AND REQUIRED SIMPSON POST CAPS AND BASES PER CODE IF FOUND TO BE DEFICIENT.
 - b) EVALUATE EXISTING GIRDERS
 - (1) ALL EXISTING GIRDERS FOUND TO BE COMPROMISED WITH ROT ARE TO BE REPLACED
 - (2) ALL EXISTING GIRDERS ARE TO BE REINFORCED PER CONSTRUCTION DRAWINGS (THIS PAGE)
 - c) EVALUATE EXISTING FLOOR JOISTS
 - (1) FLOOR JOISTS TO BE INSPECTED FOR ROT OR OTHER DEFICIENCIES (EXCESSIVE DRILLING, NOTCHING OR CUTTING, INSECT OR VERMIN ACTIVITY)
 - (2) ANY DEFICIENT FLOOR JOISTS ARE TO BE NOTED AND REPLACED OR SISTERED.
 - d) EVALUATE EXISTING SUB-FLOOR
 - (1) ALL COMPROMISED ELEMENTS ARE TO BE REPLACED
- 4) EXTERIOR DECKS (SEE 4 ON S-1A. ALL WORK TO CONFORM WITH R507)
 - a) ALL EXTERIOR DECKS AND PORCHES TO BE REBUILT WITH PRESSURE TREATED MATERIAL PER DRAWINGS
 - i) NEW FOOTINGS TO BE INSTALLED PER R507.3
 - ii) NEW LEDGER BOARDS TO BE PROPERLY FLASHED AND SECURED TO BUILDING PER R507.9.1.1.4
 - iii) NEW LATERAL CONNECTIONS TO BE PROVIDED PER R507.9.2
 - iv) ALL STAIRS AND RAILINGS TO COMPLY WITH REQUIREMENTS PER R311.7.1.9
- 5) INTERIOR FRAMING
 - a) ALL WINDOW AND DOOR OPENINGS TO BE RELOCATED AND RE-FRAMED PER DRAWINGS AND WINDOW SCHEDULE
 - b) INTERIOR WALLS TO BE LOCATED AND FRAMED AS SHOWN IN DRAWINGS WITH DOOR OPENINGS AS SHOWN
 - c) EXISTING WALLS (INTERIOR AND EXTERIOR SHALL BE EVALUATED AND ANY BENT, WAIVED OR COMPROMISED STUDS TO BE REPLACED.
 - d) EXTERIOR WALL SHEATHING TO BE INSPECTED AND ANY DEFICIENCIES CORRECTED.
- 6) ROOF REPAIR
 - a) AFTER REMOVING TEMPORARY WATERPROOF COVERING AND OLD ROOFING MATERIALS
 - i) REPLACE ANY COMPROMISED RAFTERS
 - ii) REPLACE ANY ROTTED OR DELAMINATED ROOF SHEATHING
 - iii) INSTALL NEW FASCIA PER DRAWINGS
 - iv) INSTALL NEW UPON ROOFING MATERIAL
 - v) USE 1" CELOTEX UNDERLAYMENT AND ALL NAILING, ADHESIVE, TAPES AND EDGE TREATMENTS PER MANUFACTURER'S INSTRUCTIONS.
- 7) PLUMBING
 - a) ROUGH IN NEW PVC SANITARY DRAINAGE AND VENTS PER DRAWINGS
 - i) ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED PER EPDM MANUFACTURER'S SPECIFICATIONS
 - ii) ROUGH IN NEW PEX SUPPLY LINES TO ALL FIXTURES.
 - iii) ALL PEX LINES TO BE 3" DIRECT TO ALL OUTLETS TERMINATING IN HOT AND COLD SUPPLY MANIFOLDS IN CRAWL SPACE.
 - iv) ALL SUPPLY LINES ARE TO BE PITCHED TO ALLOW SIMPLE GRAVITY DRAINAGE OF THE SUPPLY SYSTEM.
 - b) ELECTRICAL (ALL WORK TO COMPLY WITH NYP470-17 PER THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, CHAPTER 53)
 - i) INSTALL NEW A NEW SERVICE ENTRANCE AND A NEW ELECTRICAL DISTRIBUTION PANEL WITH A MAIN SHUT-OFF BREAKER
 - ii) ALL WIRING TO BE COPPER.
 - iii) INSTALL DISTRIBUTION SYSTEM PER DRAWINGS AND CODE
 - iv) PROVIDE ROUGH AND FINISHED ELECTRICAL INSPECTION CERTIFICATION BY AN AGENCY APPROVED BY THE SULLIVAN COUNTY ELECTRICAL LICENSING BOARD

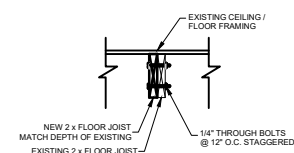


SECTION

GIRDER REINFORCEMENT DETAIL 1
SCALE: 1"=1'-0"

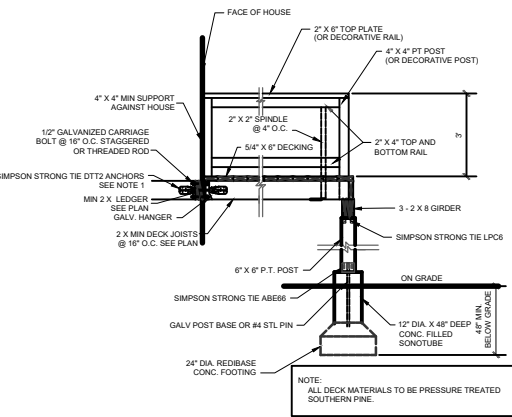


SIDE VIEW



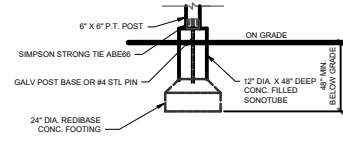
SECTION

FLOOR JOIST SISTERING DETAIL 2
SCALE: 1"=1'-0"

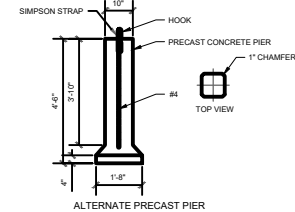


NOTE 1:
PER 2020 NYSRBC SECTION 507.9.2 DECK LATERAL LOAD CONNECTION. HOLD-DOWN TENSION DEVICE SHALL BE INSTALLED IN NOT LESS THAN TWO LOCATIONS PER DECK WITHIN 36-INCHES OF EACH END OF THE DECK. EACH DEVICE SHALL HAVE AN ALLOWABLE STRESS DESIGN CAPACITY OF NOT LESS THAN 1500 LBS.

DECK CONSTRUCTION DETAILS 3
SCALE: 1/2"=1'-0"



TYPICAL REPLACEMENT FOOTING DETAIL 4
SCALE: 1/2"=1'-0"



INTERIOR EXTERIOR
MAPPING AND SURVEYING
18 SPENCER BROOKLYN
NEW YORK 11211
(929) 486-9091
propicny.com
PROPICNY@GMAIL.COM

PROJECT NAME:
ARCHITECTURAL AS-BUILT
UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

REVISIONS:		
NO.	DATE	MARK / DESCRIPTION

SHEET CONTENT:
SCOPE OF WORK
GIRDER REINFORCEMENT DETAIL
DECK CONSTRUCTION DETAILS
FLOOR JOIST SISTERING DETAILS
TYPICAL REPLACEMENT FOOTING DETAIL

DRAWN BY:	SHEET NO.:
DATE:	S-2
CHECKED:	OF:
DATE:	
PROJECT NO.:	02