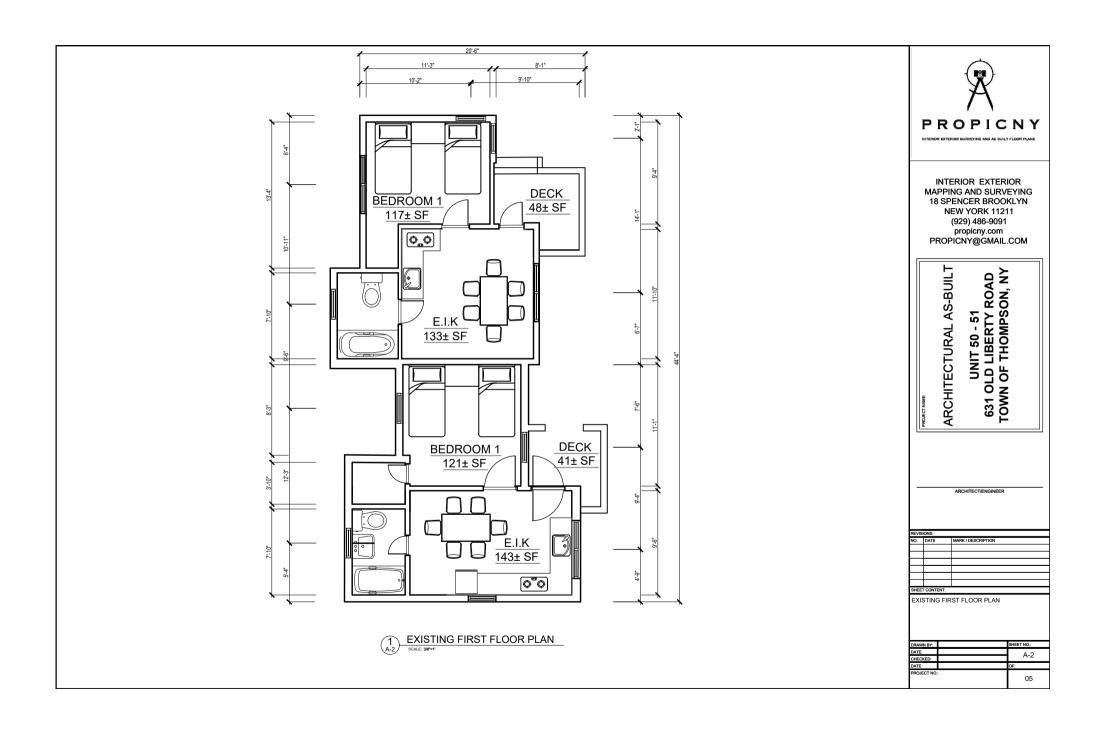
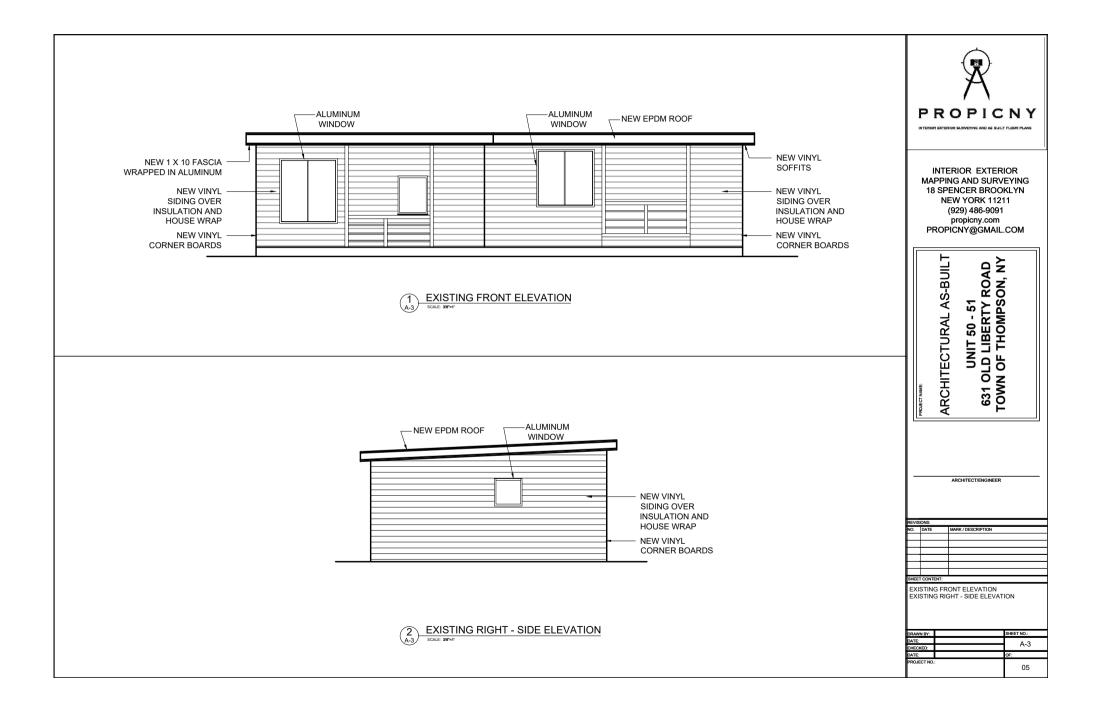
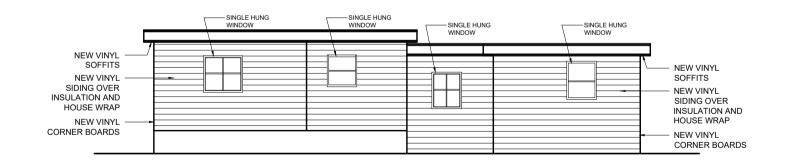
GENERAL NOTES ABBREVIATIONS: SHEET SCHEDULE: Above Finish Floor MISC. A.F.F. Miscellaneous SHEET SHEET ISSUE Board Microllam SHEET NAME BOT. NUMBER Bldg Restriction LineMECH Mechanical DATE B.R.L THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND **BSMT** Racement Not Applicable SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR Change in Finish CIF PROPICNY Not In Contract REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN Control Joint GENERAL NOTES NO. or #Numl CLD. ABBREVIATIONS Ceiling APPROVAL OF THE DESIGNER. A - 1 N.O.M Nominal SITE MAP 19-03-2025 Center Line CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS Not To Scale Conc. Masonry Unit N.T.S CMU AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO o.c. On Center SHEET SCHEDULE COL. Column PTD. Paint, Painted THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE CONC Concrete Pressure Treated A - 2 PROPOSED FIRST FLOOR PLAN 19-03-2025 CONT Continuous PROCEEDING WITH THE WORK. Radius RAD /R INTERIOR EXTERIOR CW. Cold Water ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL 3. REE Refrigrator PROPOSED FRONT ELEVATION A - 3 Double 19-03-2025 MAPPING AND SURVEYING BE BROUGHT TODEVELOPERS AND DESIGNERS ATTENTION REO Required DIA. Rough Opening 18 SPENCER BROOKLYN R.O. IMMEDIATELY. PROPOSED LEFT - SIDE ELEVATION REAR FLEVATION DN Down Similar A - 4 19-03-2025 **NEW YORK 11211** DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE DS DW Downspout 4. SPEC Specification Dishwasher (929) 486-9091 PRECEDENCE OVER SCALED DIMENSIONS. Square Feet PROPOSED BUILDING SECTION DWG SS propicny.com ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING Stainless Stee PROPOSED 1 HR DIMISING BUILDING 19-03-2025 5 Electric. Electrical A - 5 ELEC STD Standard SECTION PROPICNY@GMAIL.COM UNLESS OTHERWISE NOTED. ELEV STL Electrical Panel ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE E.P. PROPOSED ELECTRICAL PLAN EQ. Equp STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING Top of Plate E - 1 ELECTRICAL EQUIPMENT LEGEND 19-03-2025 Equipment Typical ELECTRICAL NOTES AS-BUILT Each Way E.W. ≥ ROAD Liniage Notes ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND U.O.N Existing Ex. Otherwise F.A. APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION. Fire Alarm P - 1 PLUMBING DETAILS 19-03-2025 VERT. o, Vertical Foundation ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS W.I.C. Walk-In Closet FIN. FIN. FL. Finish STRUCTURAL NOTES ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, Water Closet S - 1 19-03-2025 Finish Floor IIT 50 - 51 LIBERTY W/ THOMPS CONTRACTOR TO VERIFY. FL, FLR. Floor WD Wood DAMP PROOFING - ONE GOAT CONTINUOUS ELECTROMETRIC Foot or Feet **ARCHITECTURAL** SCOPE OF WORK FTG Footing WATERPROOFING FROM GRADE LEVEL TO BOTTOM OF GIRDER REINFORCEMENT DETAIL FLASH Flashing S - 2 DECK CONSTRUCTION DETAILS 19-03-2025 Gauge FLOOR JOIST SISTERING DETAILS SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH GALV Galvinized TYPICAL REPLACEMENT FOOTING DETAIL PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION Ground Fault OLD OLD Circuit Interrupte DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GWB ō Gypsum Wall Board GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER Hose Ribb N N O A SEPARATE AGREEMENT. HWF Hardwood Flooring DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION HGT 631 Height Head Height PHASE SHALL BEREVIEWED BY THE DESIGNER AND THE OWNER HORIZ. PRIOR TO THE START OF WORK IN QUESTION, ANY DEVIATIONS HWH Hot Water Heate FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE INSUL Insulation THE SOLE R ESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ANDMATERIALS REPRESENTED ON THESE DOCUMENTS LOCATION MAP: SITE MAP: INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS THE BUILDER SHALL FURNISH ART AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE ARCHITECT/ENGINEER STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR, IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE **CRITERIA** Family Fun Farm ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL GENERAL NOTES OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL BBREVIATIONS CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE SITE MAP REQUIREMENTS AND GOVERNING REGULATIONS. LOCATION MAP SHEET NUMBER WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH: A-1 CHECKED:

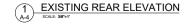
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ARCHITECTURAL AS-BUILT

UNIT 50 - 51
631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

REVISIONS:

40. DATE MARK / DESCRIPTION

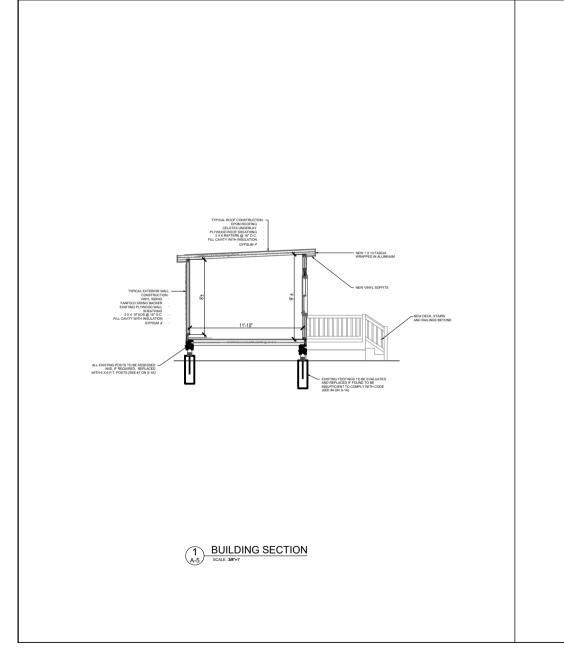
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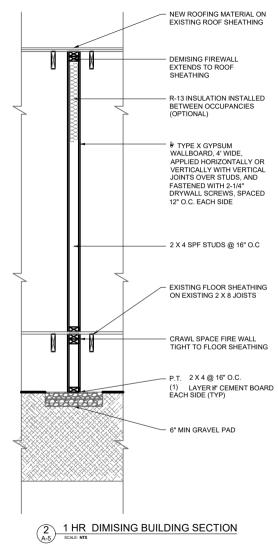
MARK / DESCRIPTION

MARK / DESCRIPTION

EXISTING REAR ELEVATION EXISTING LEFT - SIDE ELEVATION

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DATE:	OF:
PROJECT NO.:	05







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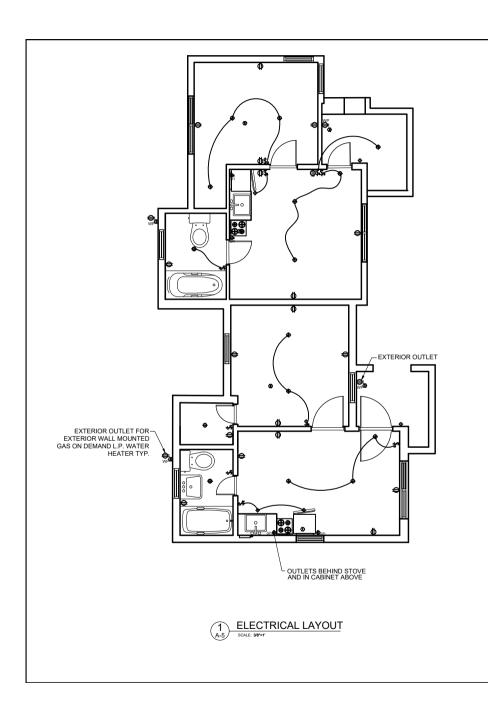
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631 OLD LIBERTY ROAD
TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

MARK / DESCRIPTION

BUILDING SECTION

1 HR DIMISING BUILDING SECTION



ELECTRICAL EQUIPMENT LEGEND		
SYMBOL		
\$1	SINGLE POLE TOGGLE SWITCH	
\$e	TWO WAY TOGGLE SWITCH	
\$3	THREE WAY TOGGLE SWITCH	
+	CEILING MOUNTED LIGHT FIXTURE	
Ф	CEILING MOUNTED LIGHT & EXHAUST FAN COMB. FIXTURE	
Ф	RECESSED LIGHT FIXTURE	
<i>∞</i>	CEILING FAN & LIGHT COMBINATION	
0	HARD WIRED 120V COMBINATION CARBON MONOXIDE-SMOKE DETECTOR CAPABLE OF SIMULTAWEOUS ALARM WITH OTHER DETECTORS ON THEIR CIRCUIT	
0	HARD WIRED 120V SMOKE DETECTOR ONLY, CAPABLE OF SIMULTAWEOUS ALARM WITH OTHER DETECTORS ON THEIR CIRCUIT	
<u> </u>	WALL MOUNTED LIGHT FIXTURE	
Ф	DUPLEX RECEPTACLE, 120V	
Ф _{GFI}	20 AMPERE DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTOR TYPE,	
•	30 AMPERE, 4 WIRE DRYER RECEPTACLE, 240V	
•	50 AMPERE, 4 WIRE RANGE RECEPTACLE, 240V	
P	DEDICATED OUTLET	
0	SPECIAL PURPOSE HARD WIRED ELECTRICAL CONNECTION	
ФwР	WEATHERPROOF RECEPTACLE	
	100A POWER PANEL, 40 POLE, 120/240V, NEMA 1	
0	2 SMALL APPLIANCE CIRCUIT GFI	
2	OUTLETS IN BEDROOMS ARE ON ARC FAULT CIRCUITS	
3	GARAGE RECEPTACLE AND WP RECEPTACLE ON GFI CIRCUIT	
•	EVERYTHING IN BATHROOMS ARE ON GFCI CIRCUIT	
F	BATH FAN, NO LIGHT	

ELECTRICAL NOTES

- CONTRACTOR SHALL PROVIDE ALL JABOR MATERIALS,
 NSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS,
 TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERTY.
 OPERATIVE SYSTEM ENERGIZED INFOLOHOUT AND AS INDICATED
 ON DRAWMINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE
 REQUIRED.
- RELIGIELD.

 ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WERN INSTALLED AND OF THE SAME MANUFACTURER MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWITTENS MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWITTENS LABORATORIES (IL.) AND SHALL BEAR THE RESPECTION LABEL." WITH APPROVED AND APPLICATION OF A LONG MATERIAL SHALL BE LISTED AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDHOOD ESTALLIBRIDGE AND SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE WITH ADDRESS AND SHALL BE MANUFACTURED IN ACCORDANCE WITH A PRICED SHALL BE MANUFACTURED IN ACCO
- 3. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.LC.
- METER SOCKETS AMPERES, VOLTAGE AND NUMBER OF PHASES SHALL BE NOTED AND SHALL BE MANUFACTURED BY SOUARE "D" COMPANY, SANGAMO OR APPROVED EQUAL. METER SOCKET SHALL BE APPROVED BY UTILITY COMPANY PRIOR TO INSTALLATION.
- WIRE AND CABLE CONDUCTORS SHALL BE COPPER WITH TYPE THHN INSULATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 6. SERVICE CONDUCTORS MAY BE COPPER OR ALUMINUM.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL BOARD.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.

NOTE:
ELECTRICAL PLANS INDICATE
THE MINIMUM REQUIREMENTS.
AS-BUILT CONDITIONS MAY VARY.

ALL SMOKE DETECTORS SHALL BE HARD WIRED FOR SIMULTANEOUS OPERATION WITH 120V BATTERY BACK UP



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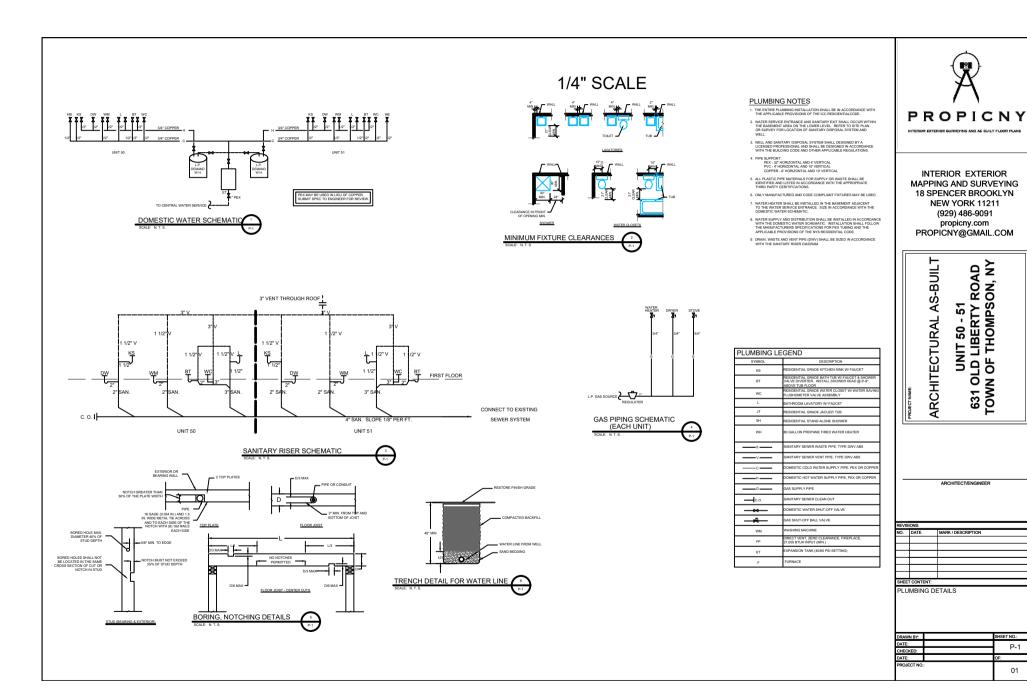
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REVIS	IONS:	
	DATE	MARK / DESCRIPTION
SHEET	CONTENT:	

ELECTRICAL PLAN ELECTRICAL EQUIPMENT LEGEND ELECTRICAL NOTES

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DATE:	OF:
DATE.	



P-1

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NEW YORK STATE BUILDING CODE WITH AMENDMENTS, THE 2020 NEW YORK STATE BENERY CONSERVATION CODE WITH AMENDMENTS, AND ALL OTHER APPLICABLE CODES & ORDINANCES.
- DACTOR SHALL VISIT THE IOR SITE AND SHALL EAMILIADIZE CONTRACTOR SHALL WIST THE JOB SITE AND SHALL FAMILLARIZE HARSELE WITH ALL CONDITIONS AFFECTION THE PROPOSED WORK AND SHALL BLACE PROVISIONS AS TO THE COST THRESDED, WHICH AND SHALL BLACE PROVISIONS AS TO THE COST THRESDED. THE SHALL BLACE PROVISIONS AND THE SHALL BLACE PROVISIONS AND CONFERENCE THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO FROCEDEDING WITH THE ATTENTION OF THE STANDARD AND COMPRESSED WITH THE THE SHALL BLACE PROVISIONS AND CONFERENCE AND OWNER PRIOR TO THE CAMENDO OWNER PRIOR TO THE COMMENCEMENT OF VIOLE.
- THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMEN AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- 4 DRAWINGS ARE INTENDED TO SHOW END RESULT OF DESIGN DRAWINGS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- 6 CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK LISING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS. DOS TECHNIQUES SEQUENCES AND PE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT LINESS OTHERWISE NOTED
- CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND INSPECTIONS AND PAY ALL REQUIRED FEES.
- 8. CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT THE OWNER

DESIGN CRITERIA

DESIGN CRITERIA (OTHER THAN TABLE R301 2/1)

SOIL BEARING CAPACITY SLOPES ASSUMED LESS THAN 8% FOOTINGS ASSUMED NOT ADJACENT	
- WIND EXPOSURE CATEGORY	С
ROOF LIVE LOAD ROOF LIVE LOAD (301.6) ROOF DEAD LOAD	SNOW ZONE 16 PSF 10 PSF
- FLOOR LIVE LOAD - FLOOR DEAD LOAD	40 PSF 10 PSF
SLEEPING ROOM LIVE LOAD SLEEPING ROOM DEAD LOAD	30 PSF 10 PSF
- ATTIC WITH STORAGE	20 PSF
- EXTERIOR DECK	40 PSF
- STAIRS	40 PSF

ENERGY CODE CRITERIA

- ENERGY CODE CRITERIA

- ZONE	5 (SULLIVAN COUNTY)
HEATING DEGREE DAYS WINTER DESIGN TEMPERATURE SUMMER DRY BULB SUMMER WET BULB	5750 6 F 83 F 73 F
- GLAZING U-FACTOR - MAXIMUM GLAZING	0.32 15 % (GROSS AREA)

EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION SHALL NOT BE REQUIRED TO COMPLY THESE CAVITIES TO BE FILLED WITH R-3/INCH INSULATION TO CAPACITY

AIR LEAKAGE
THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED
TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE
HIGH SHALL SH

DUCTS AND AIR HANDLERS SHALL BE IN ACCORDANCE WITH SECTIONS R403.3.1 THROUGH R403.3.5 OF THE 2015 IECC.

SITE WORK NOTES

- ALL EXCAVATIONS SHALL BE DEWATERED BY SUMPING, PUMPING, ETC. IN A MANNER WHICH WILL NOT LOOSEN FOUNDATION SUBGRADE MATERIAL. SUPFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS BY MEANS OF BERMS, DIVERSION DITCHES, OR OTHER SUITABLE METHODS.
- 2. CONFINED EXCAVATIONS FOR FOUNDATIONS, UTILITIES, ETC. SHALL BE LIMITED TO 4 FEET IN DEPTH UNLESS SHORING AND BRACING IS USED. TRENCH EXCAVATION GEOMETRY AND/OR BRACING SHALL CONFORM WITH THE LATEST OSHA REQUIREMENTS.
- 2. BACKELL CHALL BE DI ACED IN MAYIM IN LOOSE LIET THICKNESSES MAXIMUM DRY DENSITY PER ASTM D1557. IN CONFIDED AREAS WHERE ONLY HAND TAMPING IS FEASIBLE, FILL SHALL BE PLACED IN MAXIMUM 4 INCH LOOSE LIFTS AND COMPACTED TO THE AFOREMENT/ONEY CONTROL OF A COMPACTED TO THE AFOREMENT/ONEY CONTROL
- 4. ALL FILL SHALL BE CLEAN AND FREE OF LARGE ROCK; NO ORGANIC
- 5. TEMPORARY EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS REQUIRED AFTER THE SITE IS DISTURBED.

CONCRETE NOTES

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONRETE" ACI 318, LATEST EDITION.
- 2. CONCRETE WORK AND MATERIALS SUBLICIONSODE TO THE AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 301.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615-GRADE 60, "DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT."
- 5. CONCRETE SLUMP SHALL NOT EXCEED 5 INCHES UNLESS
- 6 READY MIX CONCRETE SHALL COMPLY WITH ACLANA AND ASTM C.94 WITH A MAXIMUM WATER CEMENT RATIO OF 0.50. TIME BETWEEN INTRODUCTION OF WATER AND THE PLACEMENT OF CONCRETE SHALL NOT EXCEED 1 - ½HOURS.
- 8. CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. AT ALL OTHER CONCRETE SURFACES, MINIMUM COVER SHALL BE 2 INCHES FOR #5 AND LARGER BARS, AND 1½ INCHES FOR #5 AND SMALLER BARS.
- ALL REINFORCING SHALL BE CONTINUOUS AND SHALL BE LAPPED 40
 BAR DIAMETERS AT SPLICES, BENT AROUND CORNERS, AND
 HOOKED AT NON-CONTINUOUS ENDS.
- 10. EXTERIOR WALKING SURFACES SHALL RECEIVE A BROOM FINISH
- 11 DEVING OUT OF CONCRETE ESPECIALLY DURING THE EIRST 24 DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE SURFACE.

CONCRETE REQUIREMENTS

L	CONTONE	CONTENIENTO
Γ	UNIT WT	150 PCF (NORMAL WEIGHT)
ı	COMPRESSIVE STRENGTH	3500 PSI @ 28 DAYS
ı	CEMENT	TYPE II, ASTM C-150
ı	COURSE AGGREGATE	3/8" MAX, ASTM C-33
ı	SLUMP	5 ± 1, ASTM C-143
ı	WATER CEMENT RATIO	LESS THAN OR EQUAL TO 0.50
ı	CURING	LIQUID MEMBRANE (ASTM C-309, TYPE II, CLASS A)
ı	FINISH	STEEL TROWEL

OTE: UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM ROUGH MATERIAL TO ROUGH MATERIAL AND ARE APPROXIMATE, MINOR MODIFICATIONS MAY BE NECESSARY AND ARE INCLUDED AS PART OF THIS WORK.

MASONRY NOTES

- I. DESIGN AND CONSTRUCTION OF ALL MASONRY WORK SHALL CONFORM TO ACI 530 AND 530.1 STANDARDS "BUILDING CODE BEOLIDEMENTS FOR MASONEY STRUCTURES" AND
- 2 CONCRETE MASONRY LINITS SHALL BE NORMAL WEIGHT HOLLOW CONCRETE MASONY UNITS SHALL BE NORMAL WEIGHT HOLLOW LOAD BEARING UNITS CONFORMING TO A STM 209 "HOLLOW LOAD BEARING CONCRETE MASONRY UNITS", LATEST EDITION. COMPRESSIVE STRENGTH OF MASONRY SHALL NOT BE LESS THAN 2000 PSI. COLOR AND FINISH AS INDICATED, SUBJECT TO APPROVAIR BY (WINFR.
- 3. MORTAR SHALL CONFORM TO ASTM C270 "MORTAR FOR UNIT MASONRY" TYPE M OR S
- GROUT SHALL CONFORM TO ASTM C476 "GROUT FOR REINFORCED AND NONREINFORCED MASONRY". ALL CELLS SHALL BE FILLED SOLID WITH GROUT AT REINFORCING.
- 5. ALL MASONRY SHALL BE CONSTRUCTED IN RUNNING BOND.
- HORIZONTAL JOINT REINFORCING SHALL BE STANDARD WEIGHT LADDER TYPE (2-NO.9 GAGE SIDE RODS) SPACED VERTICALLY AS INDICATED, DUR-O-WALL OR EQUAL.

WOOD NOTES

- FRAMING LUMBER SHALL BE AS FOLLOWS: (U.O.N.)
 A. JOISTS, RAFTERS, GIRDERS & HEADERS; DOUGLAS FIR OR SPRUCE-PINE-FIR, NO. 2 OR BETTER.
 B. STUDS; MINIMUM NO. 3, STANDARD OR STUD GRADE
- LUMBER.
 C. PLYWOOD: U.O.N. (UNLESS ZIP SYSTEM IS USED)
 SUBFLOOR 3/4" T&G AC PLYWOOD STRUCTURAL GRADE, GLUED
 - SUBSTICTION AND MALES

 AND MALES

 WALES 7/16" OSB STRUCTURAL GRADE EXTERIOR

 ROOF 1/2" CDX PLYWOOD STRUCTURAL GRADE EXTERIOR

 D. IN CONTACT WITH CONCRETE, GROUND, OR EXPOSED TO

 WEATHER, SOUTHERN PINE PRESSURE TREATED (ACQ).
- ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE R602.3(1).
- 3. FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
- A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET.
- B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS
- C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND ROTTOM OF THE RUN
- D. AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL. TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- E. FIREBLOCKING OF CHIMNEYS AND FIREPLACES SHALL BE IN ACCORDANCE WITH R1001.16.
- 4. RAFTERS AND CEILING JOISTS HAVING A DEPTH-TO-THICKNESS RATIO EXCEEDING 5 TO 1 BASED ON NOMINAL DIMENSIONS SHALL BE PROVIDED WITH LATERAL SUPPORT AT POINTS OF BEARING TO PREVENT ROTATION.
- RAFTERS AND CEILING JOISTS HAVING A DEPTH-TO-THICKNESS RATIO EXCEEDING 6 TO 1 BASED ON NOMINAL DEMENSIONS SHA BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL) OR A CONTINUOUS LINCH BY 3 INCH WOOD STRIP NAILED ACROSS THE RAFTERS OR CEILING JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- 6. OPENINGS IN ROOF AND CEILING FRAMING SHALL BE FRAMED WITH OPENINGS IN ROOF AND CELLING FRAMING SHALL BE FRAMED WITH HEADER AND TRAMMER JOISTS. WHEN THE HEADER JOIST SPAN DOES NOT EXCEED 4 FEET, THE HEADER JOIST AVE BE AS INSIGE MEMBERT THE SAME SIZE AS THE CELLING JOIST OR RAFTER. SINGLE TRIMMER JOISTS MAY BE USED TO CARRY A SINGLE HEADER JOIST THAT IS LOCATED WITHIN 3 FEET OF THEY TRIMMER JOIST BEARING.
- 7. ALL MICROLAM BEAMS, LVL SHALL HAVE A MINIMUM Fb OF 2,800 PSI
- 9. PROVIDE CROSSBRACING BETWEEN JOISTS @ 8' O.C. MAXIMUM.
- 10. WOOD POSTS UNDER BEAMS SHALL BE AS WIDE AS THE BEAM IT CARRIES
- IF WALL STUDS ARE OVER 10 FEET HIGH THAN CATS SHALL BE PROVIDED AT THEIR MIDPOINT.
- 12. ALL METAL CONNECTORS SHALL BE SIMPSON STRONG-TIE OR
- PROVIDE RAFTER TIES (H-2, HURRICANE) AT EACH RAFTER END ON WALL TOP PLATES.

ROOFING NOTES

- ROOF SHINGLE. ROOF SHINGLES SHALL BE UL TYPE CLASS A FIBERGLASS OR ASPHALT STRIP SHINGLES. 235 # MINIMUN. A FIBERCLASS OR ASPHALL STRIP SHINGLES, 235 # MINIMUM.
 INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE
 UNDERLAYMENT AS SPECIFIED BELOW AND METAL DRIP EDGI
 AT ALL ROOF FIGES.
- AN ALLOCOCIONES AND SERVICES AN INCHES, AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33 PERCENT SLOPE) OR GREATER. UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6 FEET.
- ICE PROTECTION. AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE INSTALLED IN LIEU OF NORMAL UNDERLAYMENT FROM THE EAVE'S EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE RILLIDING.
- I. CRICKETS AND SADDLES. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY GREATER THAN INSTALLED UNTITLE RIDGE SIDE OF ANY CHIMNEY GREATER TH 30 INCHES WIDE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF
- SIDEWALL FLASHING. FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE BY THE STEP-FLASHING METHOD.
- OTHER FLASHING. FLASHING AGAINST A VERTICAL FRONT WALL AS WELL AS SOIL STACK, VENT PIPE AND CHIMMEY FLASHING, SHALL BE APPLIED ACCORDING TO ASPHALT SHINGLE MANUFACTURER'S PRINTED INSTRUCTIONS.

ALL GYPSUM BOARD TO BE OF TYPE AND THICKNESS SHOWN TAPED. SPACKLED 3 COATS, AND SANDED TO A SMOOTH FIN

- WALLS & CEILINGS, U.O.N.	1/2"
- GARAGE CEILING	5/8" TYPE 'X' FIRE RATED
- GARAGE WALLS	5/8" TYPE 'X' FIRE RATED
- UNDER STAIR PROTECTION	1/2"
- BATHROOM WALLS	1/2" MOISTURE RESIST

- ALL GYPSUM BOARD SHALL BE SCREW APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CONTRACTOR HAS OPTION OF GLUING.
- FINISHED CEILING AND WALLS SHALL RECEIVE MIN TWO COATS OF PAINT WITH FIRST COAT PRIMER, UNLESS OTHERWISE NOTED.
- ALL PAINT USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS FOR THAT PRODUCT.
- 6 A BUILDING HOUSE WIND SHALL BE USED LINDER VINVE SIDING HOUSE WRAP SHALL LAP 6" ON HORIZONTAL JOINTS AND 2" ON VERTICAL JOINTS. INSTALL PER MANUFACTURERS SPECIFICATIONS
- GUTTER AND DOWN SPOUTS SHALL BE INSTALLED WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- 8. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE STRUCTURE SO THAT SURFACE WATER FLOWS AWAY FROM ETRUCTURE

ABBREVIATIONS

A.B.	ANCHOR BOLT	HORIZ.	HORIZONTAL
A.F.F.	ABOVE FINISH FLOOR	INSUL.	INSULATION
ARCH.	ARCHITECT	INT.	INTERIOR
A.S.L.	ABOVE SEA LEVEL	MAX.	MAXIMUM
BIT.	BITUMINOUS	M.D.O.	MEDIUM DENSITY OVERLA
BD.	BOARD	MIN.	MINIMUM
B.O.	BOTTOM OF	MTD.	MOUNTED
BRD.	BOARD	N.I.C.	NOT IN CONTRACT
BTM.	BOTTOM	O.C.	ON CENTER
CANT.	CANTILEVERED	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CL	CENTERLINE	PLYWD.	PLYWOOD
COL.	COLUMN	PNL.	PANEL
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	PTD.	PAINTED
DIA.	DIAMETER	REQ.	REQUIRED
	DOOR	RM.	ROOM
DRWG.	DRAWING	R.O.	ROUGH OPENING
	DOWN SPOUT	S.F.	SQUARE FEET
EL.	ELEVATION	SIM.	SIMILIAR
ELEC.	ELECTRICAL	SQ.	SQUARE
ELEV.	ELEVATION	S.S.	STAINLESS STEEL
ENG.	ENGINEER	STD.	STANDARD
EQ.	EQUAL	STL.	STEEL
EXT.	EXTERIOR	STRUC.	STRUCTURAL
OR EXIST	EXISTING	SUBFL.	SUBFLOOR
		T&B	TOP AND BOTTOM
F.	FRAMING	T.B.D.	TO BE DECIDED
	FINISH	THK.	THICK
FL.	FLOOR	T.O.	TOP OF
F.MF.M.	FACE OF MASONRY	TVP	TYPICAL
FO	FACE OF MASONKY	V.I.F.	VERIFY IN FIELD
	FOUNDATION	VERT.	VERTICAL
	FIRER REINFORCED	VEST.	VESTIBULE
	GALVANIZED	W/	WITH

WINDOWS & DOORS

GENERAL CONTRACTOR G.W.B. GYPSUM WALL BOARD

AS NIO.1. WINDOWS AND DOORS SHALL BE SIZE, TYPE AND MANUFACTURE AS NIO.1. MINDOWS AND DOORS SHALL SHOULD SHALL SHOULD SHALL SHOULD SHALL SHOULD SHALL SHALL

2. TEMPERED GLASS, AS INDICATED IN NOTE 3 AND ON THE DOOF V SCHEDULES. SHALL HAVE A MANUFACTURERS LARF! WINDOW SCHEDULES, SHALL HAVE A MANUFACTURERS LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES.

- 3. GLAZING LESS THAN 18" ABOVE FLOOR, GREATER THAN 9 SQUAF FEET IN AREA, INSTALLED IN DOORS, INSTALLED IN SIDELITES AND ADJACENT TO TUBS/SHOWERS SHALL BE TEMPERED. AS INDICATED ON THE SCHEDULES.
- EXTERIOR WINDOW, DOOR, AND VENT OPENINGS SHALL BE CAULKED, FLASHED, WEATHERSTRIPPED OR OTHERWISE SEALED TO THE SIDEWALL IT IS FASTENED TO.
- 5. EGRESS WINDOWS SHALL BE INSTALLED AS INDICATED IN THE . EGRESS WINDLOWS SHALL BE INSTALLED AS INDICATED IN THE SCHEDULE. IF SUBSTITUTIONS ARE USED, CONTRACTOR MUST CONFIRM EGRESS MEETS THE MINIMUM 5.7 SF (5.0 SF AT GRADE) ADDITIONALLY, SILL HEIGHTS FOR EGRESS WINDOWS MAY NOT EXCEED 44" FROM FINISHED FLOOR AND MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24".



INTERIOR EXTERIOR MAPPING AND SURVEYING

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ARCHITECT/ENGINEER

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NO. DATE HEET CONTE STRUCTURAL NOTES

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	FLOOD
SNOW COURT DESIGN DESIGN UNDERLAYMENT H	
EOND 177 CATEGORY THE THE TREATMENT OF T	AZARDS
50 115 C SEVERE 48" MODERATE SLIGHT TO TO HEAVY MODERATE 6F YES CA	ASE STUDY

SCOPE OF WORK

-) DESAROUT TREET, AND VECCETATION WITHIN 10' OF STRUCTURE

I) LEVEL OFF ROUGH GRADE WITHIN 10' OF STRUCTURE b) COVER EXISTING ROOF WITH A WATERPROOF TARP

2) DEMOLITION (ASBESTOS INSPECTION AND REMEDIATION MAY BE REQUIRED) a) REMOVE AND DISPOSE OF:

I) EXTERIOR

(2) ALL EXISTING WINDOWS AND EXTERIOR TRIM

(3) ALL EXISTING FOUNDATION "SKIRT" MATERIALS

(4) ALL EXISTING PORCHES AND DECKS (5) ALL SOFFIT FASCIA AND EXTERIOR TRIM

(6) ALL EXISTING EXTERIOR DOORS

ii) ROOF (AFTER STABILIZATION OF FOUNDATION, FRAMING AND CONSTRUCTION OF EXTERIOR DECKS WITH ROOF SUPPORTS)

(1) ALL ROOFING MATERIALS TO ROOF SHEATHING

(2) ANY DETERIORATED ROOF SHEATHING OR RAFTERS HAINTERIOR

(1) ALL REMAINING APPLIANCES

(2) ALL REMAINING PLUMBING FIXTURES.

(3) ALL CEILING FINISHES

(4) ALL INTERIOR TRIM AND DOOR (5) ALL INTERIOR WALL FINISHES

(6) ALL INTERIOR FLOOR COVERINGS TO EXISTING BUILDING SUB-FLOOR

(7) ALL ELECTRICAL. PHONE OR CABLE INSTALLATIONS

ANY NON-STRUCTURAL WALLS PER PROPOSED PLANS (9) REMOVE SECTIONS OF SUB-FLOOR TO ALLOW INSPECTIONS OF FLOOR

FRAMING AND FOUNDATION CONDITIONS BELOW:

3) PRE-CONSTRUCTION INSPECTION

a) FOUNDATION AND FLOORS. FLOORS MUST BE LEVELED TO A DEVIATION OF NO MORE THAN

IN 20' (SEE DETAILS THIS PAGE)

(2) ALL SUPPORT POSTS TO BE ASSESSED AND REPLACED WITH PRESSURE TREATED 6 X 6 POSTS AND REQUIRED SIMPSON POST CAPS AND BASES PER CODE IF FOUND TO BE DEFICIENT.

II) EVALUATE EXISTING GIRDERS. (1) ALL EXISTING GIRDERS FOUND TO BE COMPROMISED WITH ROT ARE TO BE REPLACED

III)EVALUATE EXISTING FLOOR JOISTS

(2) ANY DEFICIENT FLOOR JOISTS ARE TO BE NOTED AND REPLACED OR

IV/EVALUATE EXISTING SUBFLOOR

(1) ALL COMPROMISED ELEMENTS ARE TO BE REPLACED 4) EXTERIOR DECKS (SEE 4 ON S-14, ALL WORK TO CONFORM WITH RS07)

a) ALL EXTERIOR DECKS AND PORCHES TO BE REBUILT WITH PRESSURE TREATED
MATERIAL PER DRAWINGS

I) NEW FOOTINGS TO BE INSTALLED PER R507.3

ii) NEW LEDGER BOARDS TO BE PROPERLY FLASHED AND SECURED TO BUILDING PERRSO7.9.1.1.4

III)NEW LATERAL CONNECTIONS TO BE PROVIDED PER RS07.9.2 WALL STAIRS AND RAILINGS TO COMPLY WITH REQUIREMENTS PER R311.7.1-9

5) INTERIOR FRAMING

a) ALL WINDOW AND DOOR OPENINGS TO BE RELOCATED AND RE-FRAMED PER

DRAWINGS AND WINDOW SCHEDULE

b) INTERIOR WALLS TO BE LOCATED AND FRAMED AS SHOWN IN DRAWINGS WITH
DOOR OPENINGS AS SHOWN

c) EXISTING WALLS (INTERIOR AND EXTERIOR SHALL BE EVALUATED AND ANY BENT, WARPED OR COMPROMISED STUDS TO BE REPLACED.

d) EXTERIOR WALL SHEATHING TO BE INSPECTED AND ANY DEFICIENCIES

a) AFTER REMOVING TEMPORARY WATERPROOF COVERING AND OLD ROOFING

() DEDLACE ANY COMPROMISED PARTERS

II) REPLACE ANY ROTTED OR DELAMINATED ROOF SHEATHING

III)INSTALL NEW FASCIA PER DRAWINGS

b) INSTALL NEW EPOM ROOFING MATERIAL

I) USE X" CELOTEX UNDERLAYMENT AND ALL NAILING, ADHESIVES, TAPES AND EDGE TREATMENTS PER MANUFACTURER'S INSTRUCTIONS.

a) ROUGH IN NEW PVC SANITARY DRAINAGE AND VENTS PER DRAWINGS

ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED PER EPOM MANUFACTURER'S SPECIFICATIONS

b) ROUGH IN NEW PEX SUPPLY LINES TO ALL FIXTURES.

I) ALL PEX LINES TO BE %" DIRECT TO ALL OUTLETS TERMINATING IN HOT AND COLD SUPPLY MANIFOLDS IN CRAWL SPACE.

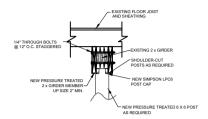
ii) ALL SUPPLY LINES ARE TO BE PITCHED TO ALLOW SIMPLE GRAVITY DRAINAGE OF THE SUPPLY SYSTEM.

ELECTRICAL (ALL WORK TO COMPLY WITH NFPA70-17 PER THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, CHAPTER 35)

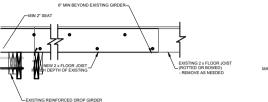
a) INSTALL NEW A NEW SERVICE ENTRANCE AND A NEW ELECTRICAL DISTRIBUTION PANEL WITH A MAIN SHUT-OFF BREAKER b) ALL WIRING TO BE COPPER.

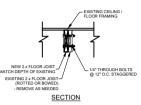
c) INSTALL DISTRIBUTION SYSTEM PER DRAWINGS AND CODE

d) PROVIDE ROUGH AND FINISHED ELECTRICAL INSPECTION CERTIFICATION BY AN AGENCY APPROVED BY THE SULLIVAN COUNTY ELECTRICAL LICENSING BOARD



SECTION

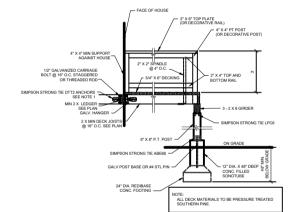




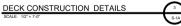
SIDE VIEW





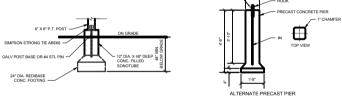








FLOOR JOIST SISTERING DETAIL







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PROJECT NAME:
ARCHITECTURAL AS-BUILT
UNIT 50 - 51 631 OLD LIBERTY ROAD TOWN OF THOMPSON, NY

ARCHITECT/ENGINEER

REVIS	SIONS:	
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SCOPE OF WORK GIRDER REINFORCEMENT DETAIL DECK CONSTRUCTION DETAILS FLOOR JOIST SISTERING DETAILS TYPICAL REPLACEMENT FOOTING DETAIL

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